

HOME INSPECTION REPORT

PREPARED FOR:

HAPPY CLIENT

INSPECTION ADDRESS:

5896 HAPPYVIEW CT, RANCHO SANTA FE, CA 92067



INSPECTED BY:

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Date: 3/9/2017Time: 08:00 AMReport ID: 3-9-17-HAPPYCLIENTProperty:Customer:Real Estate Professional:

5896 HAPPYVIEW CT HAPPY CLIENT RANCHO SANTA FE CA 92067

Type of Property:Furnished/Occupied?:Year Built:Single Family ResidenceYes/No1998/2015

Square Feet: Number of Stories: Present At Time Of Inspection:

8,225 One Buyer & Buyer's Agent, Sellers' Agent,

Seller's Agents Assistant

Weather: Temperature: Standards of Practice:

Dry & Clear 75 Degrees CREIA

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

<u>General Information</u> This category contains functional items, descriptive information about what has been inspected, the construction of the home and recommended upgrades and smaller items of concern that you should be aware of.

<u>Explain / Explore Further</u> This category contains items or components with a deficiency that requires an explanation about the history of the cause or which may also need to be evaluated further by a qualified contractor.

<u>Safety Upgrade</u> This category contains components of the home which do not meet newer safer standards and upgrading them for safety is recommended.

<u>Safety Concern</u> This category contains components or conditions that pose a health and safety hazard which should be serviced by a qualified contractor.

<u>Priority Repair</u> This category contains systems, components or units that need service or are beyond their design life and which may be more costly to repair. Evaluation by a qualified contractor who could provide an estimate for repairs is recommended because the cost of repairs may affect your evaluation of the property.

Repair / Replace The category contains systems, components or units that are not functioning as intended, or need further evaluation by a qualified contractor. Ones that cannot be repaired to satisfactory condition may not need replacement.

Scope of the Inspection

You have contracted with Royal Inspection to perform a generalist inspection in accordance with the standards of practice established by the California Real Estate Inspection Association, a copy of which is available upon request. Generalist inspections are essentially visual, and distinct from those of specialists, inasmuch as they do not include the use of specialized instruments, the dismantling of equipment, or the sampling of air and inert materials. Consequently, a generalist inspection and the subsequent report will not be as comprehensive, nor as technically exhaustive, as that generated by specialists, and it is not intended to be. The purpose of a generalist inspection is to identify significant defects or adverse conditions that would warrant a specialist evaluation. Therefore, you should be aware of the limitations of this type of inspection, which are clearly indicated in the standards. However, the inspection is not intended to document the type of cosmetic deficiencies that would be apparent to the average person, and certainly not intended to identify insignificant deficiencies. Similarly, we do not inspect for vermin infestation, which is the responsibility of a licensed exterminator.

1. Exterior

With the exception of townhomes, condominiums, and residences that are part of a planned urban development, or PUD, we evaluate the following exterior features: driveways, walkways, fences, gates, handrails, guardrails, yard walls, carports, patio covers, decks, building walls, fascia and trim, balconies, doors, windows, lights, and outlets. However, we do not evaluate any detached structures, such as storage sheds and stables, and we do not water test or evaluate subterranean drainage systems or any mechanical or remotely controlled components, such as driveway gates. Also, we do not evaluate landscape components, such as trees, shrubs, fountains, ponds, statuary, pottery, fire pits, patio fans, heat lamps, and decorative or low-voltage lighting. In addition, we do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this could only be confirmed by a geological evaluation of the soil.

We have evaluated the exterior in compliance with industry standards. Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified contractor specialist before the end of the inspection period.

Building Materials, Component Type, Age & Location

House Wall Finish:	Appurtenance:	Appurtenance:
Stucco	Fence(s) & Gate(s)	Barbecue
	Porch	Patio(s)
	Walkways	Pool & Spa
		Yard Walls
Driveway:	Exterior Doors:	Window Type:
Gravel	Wooden French Door(s)	Dual Pane Wooden Casement
	Wood	
	Inonaction Findings	

Inspection Findings

1.0 Exterior Inspection

FUNCTIONAL - The exterior components were inspected in compliance with industry standards and appear functional with the exception of any listed deficiencies.

1.1 Exterior Component Deficiencies

EXPLORE

FURTHER The ignition did not light the gas and the barbecue should be demonstrated to be functional or repaired by a Contractor specialist. (no gas when the valve was turned on under the barbecue)



1.2 Exterior Walls & Vents

GENERAL INFORMATION – Vines are overgrowing the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed.

1.3 Grading & Drainage

(1) GENERAL INFORMATION – The property is served by a French drain system with area drains. Because it is impossible to see inside them, the seller should guarantee that the drains are functional, or they should be flushed through to the street before the close of escrow. Surface water carries minerals and silt that is

deposited inside the pipes and hardens in the summer months to the consistency of wet concrete, which can impede drainage and require the pipes to be cleared by a rooter service. (ask seller where they are installed and where they terminate)

REPLACE (2) The soil is over the weep screed at the right side of the family room and should have a 4" clearance to the weep screed. This can trap moisture and should be serviced. Evaluation and repair by a licensed Grading & Drainage Contractor is recommended.





EXPLORE FURTHER (3) There is grass plated against the back foundation stem wall which should be maintained two feet away to avoid damage or moisture intrusion. Evaluation and repair by a licensed Landscape Contractor is recommended.



EXPLORE FURTHER (4) The grass area in the backyard is graded toward the pool which does not appear significant but a Landscape Contractor could evaluate this further.

1.4 Site & Landscape Observations

EXPLORE

- FURTHER (1) The property has been renovated or remodeled. Therefore, you should request documentation that should include permits and any warranties or guarantees that might be applicable, because we do not approve or tacitly endorse any work done without permits, and latent defects could exist.
- (2) ITEM OF CONCERN There are tree limbs growing near the residence that should be regularly trimmed and monitored to insure that they do not impact or damage the roof or allow entry of rodents and insects. Arborist

1.5 Windows Deficiencies

REPLACE (1) The seller disclosed a window leaked in the library and stains on the carpet and deteriorated wood were noted. Evaluation and repair by a licensed a Carpet Cleaning Contractor and a Pest Control Inspector is recommended. (stain in office as well)





REPAIR / REPLACE (2) A casement window in the master bathroom toilet room has a missing crank which should be replaced. Evaluation and repair by a licensed Window Contractor is recommended.



REPLACE (3) A casement window in bathroom 5 has a missing crank mechanism cover which should be replaced. Evaluation and repair by a licensed Window Contractor is recommended.



1.6 Fences & Gates

(1) GENERAL INFORMATION – Portions of the fences are obscured by foliage or other material, which holds moisture, invites insects and prevents a thorough inspection.

REPLACE (2) Sections of the wrought iron fence are deteriorated or rust damaged and should be serviced or replaced. Evaluation and repair by a licensed Fence Contractor is recommended. (left side, back)



1.7 Outlet(s) Inspected

FUNCTIONAL - The exterior outlets appear functional and include ground-fault protection.

1.8 Lights

EXPLORE

Two flood lights at the back did not respond which should be serviced and demonstrated. -

Bulbs? -Electrician





2. Structural

All structures are dependent on the soil beneath them for support, but soils are not uniform. Some that might appear to be firm and solid can liquefy and become unstable during seismic activity. Also, there are soils that can expand to twice their volume with the influx of water and move structures with relative ease, raising and lowering them and fracturing slabs and other hard surfaces. In fact, expansive soils have accounted for more structural damage than most natural disasters. Regardless, foundations are not uniform, and conform to the structural standard of the year in which they were built. In accordance with our standards of practice, we identify foundation types and look for any evidence of structural deficiencies. However, cracks or deteriorated surfaces in foundations are quite common. In fact, it would be rare to find a raised foundation wall that was not cracked or deteriorated in some way, or a slab foundation that did not include some cracks concealed beneath the carpeting and padding. Fortunately, most of these cracks are related to the curing process or to common settling, including some wide ones called cold-joint separations that typically contour the footings, but others can be more structurally significant and reveal the presence of expansive soils that can predicate more or less continual movement. We will certainly alert you to any suspicious cracks if they are clearly visible. However, we are not specialists, and in the absence of any major defects we may not recommend that you consult with a foundation contractor, a civil or structural engineer, a geo technical engineer or geologist, but this should not deter you from seeking the opinion of any such expert.

We have evaluated the structure and foundation in compliance with industry standards. Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified civil or geo technical engineer before the end of the inspection period.

Building Materials, Component Type, Age & Location

Foundation: Roof Structure:

Ceiling Structure:

Poured Concrete Slab Conventionally Framed

Rafters & Beams Wooden Joists

Wall Structure:

Floor Structure:

Wooden Studs Poured Concrete Slab

Inspection Findings

2.0 Slab Foundation Inspection

FUNCTIONAL - The slab foundation and structural components were inspected in compliance with industry standards and appear functional with the exception of any listed deficiencies.

3. Roofing

There are many different roof types, which we evaluate by walking on their surfaces. If we are unable or unwilling to do this for any reason, we will indicate the method that was used to evaluate them. Every roof will wear differently relative to its age, the number of its layers, the quality of its material, the method of its application, its exposure to direct sunlight or other prevalent weather conditions, and the regularity of its maintenance. Regardless of its design-life, every roof is only as good as the waterproof membrane beneath it, which is concealed and cannot be examined without removing the roof material, and this is equally true of almost all roofs. In fact, the material on the majority of pitched roofs is not designed to be waterproof only water-resistant. However, what remains true of all roofs is that, whereas their condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings, or on the framing within attics, could be old and will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. Consequently, only the installers can credibly guarantee that a roof will not leak, and they do. We evaluate every roof conscientiously, and even attempt to approximate its age, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it, and that you either include comprehensive roof coverage in your home insurance policy, or that you obtain a roof certification from an established local roofing company.

We evaluated the roof to industry standards. This includes inspection of roofing material, flashings, skylights, gutters and roof drainage, and vents. Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified roofing contractor before the end of the inspection period.

Building Materials, Component Type, Age & Location

Roof Covering:Design Life:Estimated Age:Clay Tiles50 Years19 Years-old

30 Years (felt)

Method of Evaluation: Gutters: Chimney(s) Exterior:

Ladder Aluminum Stucco

From Within Attic Full Set

Walked the Flat Roof(s)

Inspection Findings

3.0 Roof Inspection

- (1) GENERAL INFORMATION There are several types of authentic Spanish tile, all of which are made of clay and are easily broken. Like most inspectors, we elect not to walk on them but view them instead from a variety of vantage points using a ladder and binoculars. They can be installed in different ways, using various fasteners and mortar, over one or more waterproof membranes of varying weights. Sometimes the tiles appear to be carelessly installed, or randomly layered and irregularly placed, but this is characteristic of a classic Spanish tile roof. As with other pitched roofs, they are not designed to be waterproof only water-resistant, and are dependant on the integrity of the membrane beneath them, which is concealed, but which can be split by movement, or deteriorated through time and ultra-violet contamination. These roofs can leak, and sometimes without there being any obvious damage to the tiles, and particularly if damaged tiles have been replaced over a deteriorated membrane. However, the most common form of leakage occurs when the valleys or other drainage channels become blocked by debris, which causes water to back up and be directed under the flashing. Therefore, it is important to inspect these roofs annually and to have them cleaned.
- (2) GENERAL INFORMATION We evaluated the roof to industry standards. This includes inspection of roofing material, flashings, skylights, gutters and roof drainage, and vents.
- (3) FUNCTIONAL The roof and its components were inspected and appear functional with the exception of any listed deficiencies.

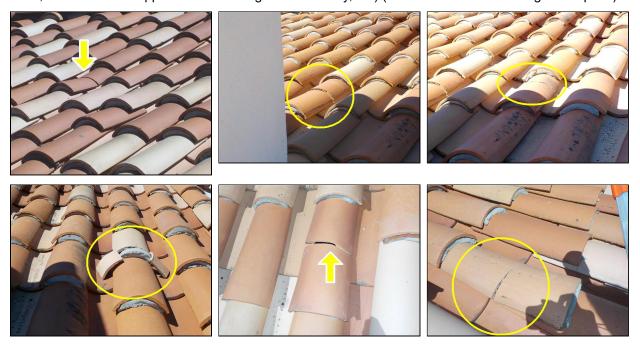
(4) GENERAL INFORMATION – The roof is a flat roof and flat roofs can be problematic if they are not kept clean. Water ponds on most of them, particularly along the leading edges, and will only be dispersed by evaporation. Therefore they must be kept clean and inspected regularly. This is important because our service does not include any guarantee against leaks. (stains from water ponding noted)

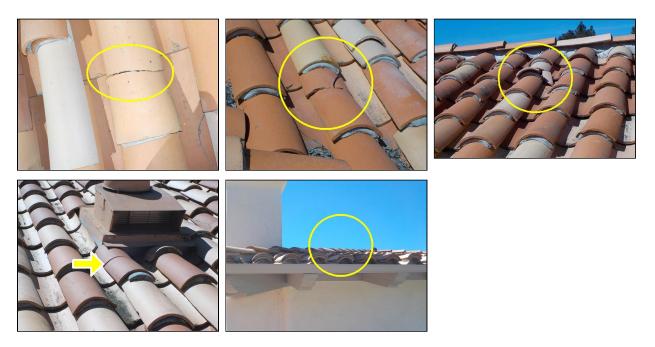
3.1 Roof Deficiencies

REPLACE (1) There is debris from trees on the roof which can cause water to back up under the tile and should be removed. (right side, back)



PRIORITY
REPAIR
(2) There are a number of broken roof tiles which should be serviced or the roof may leak.
Evaluation and repair of the entire roof by a licensed Roofing Contractor is recommended. (above the family room, kitchen and on upper roof near living room chimney, etc) (seller has invoice showing roof repairs)





3.2 Gutters & Downspouts

REPLACE (1) The gutters need to be cleaned and serviced to function properly. Evaluation and repair by a licensed Guttering Contractor is recommended. (clogged, bent at right side, missing end cap upper roof, missing elbow at back of family room, bent downspout at right side, etc)







Debris May Enter

(2) UPGRADE – It would be prudent to add leaders and/or splash blocks at the bottom of the downspouts to promote positive drainage and divert water away from the perimeter footings.

4. Chimney

The Chimney Safety Institute of America has published industry standards for the inspection of chimneys, and on January 13, 2000, the National Fire Protection Association adopted these standards as code, known as NFPA 211. Our inspection of masonry and factory-built chimneys to what is known as a Level-One inspection, which is purely visual and not to be confused with Level-Two, and Level-Three inspections, which are performed by qualified specialists with a knowledge of codes and standards, and typically involves dismantling components and/or investigations with video-scan equipment and other means to evaluate chimneys.

We have evaluated the chimneys and fireplaces in compliance with industry standards. This includes inspection of the weather cap, spark arrestor, crown or chase cover, flue, flue chase, fire block, damper, ash box, log starter, glass doors, fireplace screen, hearth and mantle. Any recommended repairs noted in this report should be evaluated and repaired to NFPA standards by a licensed, qualified chimney contractor before the end of the inspection period.

Building Materials, Component Type, Age & Location

Type(s) of Fireplace(s): Fireplace(s) Location(s):

Gas Provided:

Lined Masonry

Library

Yes

Master Bedroom Living Room Family Room

Number of Fireplaces:

Four

Inspection Findings

4.0 Fireplace Inspection

FUNCTIONAL - The fireplace (or fireplaces) and their components appear functional with the exception of any listed deficiencies.

4.1 Fireplace(s) Deficiencies

REPAIR / REPLACE The chimneys do not have weather cap-spark arrestors which are recommended. Evaluation and repair by a licensed Chimney Contractor is recommended. (one spark arrestor is off)







4.2 Damper(s)

REPLACE (1) The damper handles are missing in the all of the chimneys and should be replaced. Evaluation and repair by a licensed Chimney Contractor is recommended.



REPAIR / REPLACE (2) The damper-stops are missing at all the chimneys and should be replaced to lock the dampers open for safety. Evaluation and repair by a licensed Chimney Contractor is recommended.

5. Attic

In accordance with our standards, we do not attempt to enter attics that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we would inspect them as best we can from the access point. In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test the material for specific identification. Also, we do not disturb or move any portion of it, and it may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

We have evaluated the attic in compliance with industry standards. This includes framing, ventilation, electrical, plumbing, insulation and exhaust fan ducts. Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified contractor specialist before the end of the inspection period.

Building Materials, Component Type, Age & Location

Method Used to Observe Attic:Attic Access Location:Attic Ventilation:AccessedBedroom ClosetAttic Ventilator Fan

Hallway Closet

Attic Framing: Attic Electrical: Attic Insulation:

Stick-built Non-Metalic Sheathed Cable R-19

Purlins Fiberglass Batt

Inspection Findings

5.0 Attic Inspection

- (1) GENERAL INFORMATION The attic inspection included the following: Ventilation, framing electrical, insulation, fire resistant walls, exhaust ducts, water pipes, etc.
- (2) FUNCTIONAL The attic (or attics) and their components were inspected and appear functional with the exception of any listed deficiencies.

5.1 Ventilation

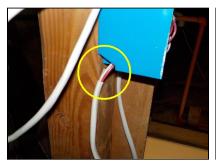
REPLACE The attic does not appears to be adequately ventilated and should be serviced. Evaluation and repair by a licensed Contractor is recommended.

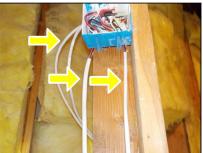
5.2 Electrical

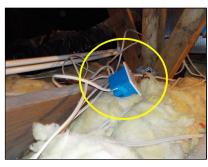
box. Evaluation and repair by a licensed Electrician is recommended. (seller's invoice shows it was repaired)



SAFETY CONCERN (2) The electrical wiring in the attic should be evaluated for the following reasons: Exposed single wire, Romex not mounted within 12 inches of a junction box, junction box not mounted to framing, etc. Evaluation and repair by a licensed Electrician is recommended.







5.3 Attic Insulation

REPLACE (1) There are several bare areas where insulation is displaced or missing and it should be re installed or replaced to avoid temperature transfer from the attic to the living space. Evaluation and repair by a licensed Contractor is recommended.





Not In Stud Bays

REPLACE (2) There are walls in the pantry area that are open to the attic which will allow temperature transfer from the attic to the living space. Also, this is an area which should be draft stopped (or blocked off) with drywall and insulation to avoid quick spread of a fire. Evaluation and repair by a licensed Contractor is recommended.



6. Electrical

There are a wide variety of electrical systems with an even greater variety of components, and any one particular system may not conform to current standards or provide the same degree of service and safety. What is most significant about electrical systems however is that the national electrical code [NEC] is not retroactive, and therefore many residential systems do not comply with the latest safety standards. Regardless, we are not electricians and in compliance with our standards of practice we only test a representative number of switches and outlets and do not perform loadcalculations to determine if the supply meets the demand. However, in the interests of safety, we regard every electrical deficiency and recommended upgrade as a latent hazard that should be serviced as soon as possible, and that the entire system be evaluated and certified as safe by an electrician. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because an electrician could reveal additional deficiencies or recommend some upgrades for which we would disclaim any further responsibility. However, we typically recommend upgrading outlets to have ground fault protection, which is a relatively inexpensive but essential safety feature. These outlets are often referred to as GFCI's, or ground fault circuit interrupters and, generally speaking, have been required in specific locations for more than thirty years, beginning with swimming pools and exterior outlets in 1971, and the list has been added to ever since: bathrooms in 1975, garages in 1978, spas and hot tubs in 1981, hydro tubs, massage equipment, boat houses, kitchens, and unfinished basements in 1987, crawlspaces in 1990, wet bars in 1993, and all kitchen countertop outlets with the exception of refrigerator and freezer outlets since 1996. Similarly, AFCI's or arc fault circuit interrupters, represent the very latest in circuit breaker technology, and have been required in all bedroom circuits since 2002. However, inasmuch as arc faults cause thousands of electrical fires and hundreds of deaths each year, we categorically recommend installing them at every circuit as a prudent safety feature.

We have evaluated the electrical system in compliance with industry standards. This includes inspection of the following: Service entrance, main panel, sub panel(s), panel covers, wiring, circuit breakers, grounding and outlets, etc.Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified electrical contractor before the end of the inspection period.

Building Materials, Component Type, Age & Location

Service Entrance Type:

Below ground 400 amp. 240 volt Service

Panel Type:

Circuit breakers

Service Entrance Wire Type:

Copper

Grounding Method:

UFR & Water Pipe

Sub Panel(s) Properly Grounded: Yes

Panel capacity:

Main Panel Manufacturer:

Murray

Branch Wiring Type:

Copper

Sub-Panel(s) Capacity:

50 amp, 240 volt

200 amp, 240 volt

Main Panel Location:

Right Side

Wiring Methods:

Non-Mettalic Sheathed Cable

220 Volt Wiring:

Multi-Stranded Copper

Sub-Panel Location(s):

Pool Equipment Area

Pantry

Inspection Findings

6.0 Electrical Inspection

FUNCTIONAL - The electrical system and its components were inspected in compliance with industry standards and appear functional with the exception of any listed deficiencies.

6.1 Panel Covers



The main panel enclosure has a missing bushing and should be serviced. -Electrician



7. Heat & AC

The components of most heating and air-conditioning systems have a design-life ranging from ten to twenty years, but can fail prematurely with poor maintenance, which is why we apprise you of their age whenever possible. We test and evaluate them in accordance with the standards of practice, which means that we do not dismantle and inspect the concealed portions of evaporator and condensing coils, the heat exchanger, which is also known as the firebox, electronic air-cleaners, humidifiers, ducts and in-line duct-motors or dampers. We perform a conscientious evaluation of both systems, but we are not specialists. However, even the most modern heating systems can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. Therefore, in accordance with the terms of our contract, it is essential that any recommendations that we make for service or a second opinion be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee.

We have evaluated the heating and air conditioning in compliance with industry standards. We evaluated the heating, ventilation and air conditioning systems to industry standards. This includes inspection of the following: Furnace (heat pump, radiant heat or baseboard heaters), vent pipes and vent connectors, circulating fans, inducer fans, gas valves and connectors, combustion air supply, return air compartments, evaporator coils, condensate drain pipes, drip pans, condensing coils, electrical connections and disconnects, refrigerant lines, differential temperature readings, thermostats, registers, ducting, closet, platform and catwalk, plenum, etc. Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified HVAC contractor specialist before the end of the inspection period.

Building Materials, Component Type, Age & Location

Number of Split Systems: Split-System(s) Location(s): Split-System(s) Age:

Four Attic 19 Years-old

Condenser(s) -Side Yard(s)

Design Life: Heat Type: Energy Source:

20 Years Forced Air Gas

Mid-Efficiency

Heat System Manufacturer: Ductwork: Filter(s) Type:

Rheem Flexible Duct in Insulation Disposable

Filter(s) Size: Central Air Manufacturer: Cooling Equipment Type:

20x30 Rheem Air-Conditioning

Condensate Dischage Location: Condenser Disconnect(s) Present: Cooling Equipment Energy Source:

Primary to Sink Trap

Yes

Electricity

Secondary to Exterior

Evaporator Coil Pan(s):

Not Installed (Recommended)

Inspection Findings

7.0 HVAC Inspection (heating, ventilation and air conditioning)

FUNCTIONAL - The heating, ventilation and air conditioning system appears functional with the exception of any listed deficiencies.

7.1 Temperature Differential Readings

- (1) FUNCTIONAL The heat and air conditioning responded and achieved an acceptable differential temperature split between the air entering the system and that coming out, of eighteen degrees or more.
- (2) ITEM OF CONCERN There was less heat and cooling temperature differential split in the guest quarters. -HVAC Contractor

7.2 HVAC Deficiencies (heating, ventilation and air conditioning)

REPAIR / REPLACE The guest quarters does not have its own mechanical heat and cooling and is heated by the thermostat in the house. Evaluation and repair by a licensed HVAC Contractor is recommended.

7.3 Evaporator Coil(s)

REPLACE Energy is being lost at the suction line attachment points to the evaporator coils which should be sealed with tar tape for energy efficiency. -HVAC Contractor





8. Plumbing

Plumbing systems have common components, but they are not uniform. In addition to fixtures, these components include gas pipes, water pipes, pressure regulators, pressure relief valves, shut-off valves, drain and vent pipes, and water-heating devices, some of which we do not test if they are not in daily use. The best and most dependable water pipes are copper, because they are not subject to the build-up of minerals that bond within galvanized pipes, and gradually restrict their inner diameter and reduce water volume. Water softeners can remove most of these minerals, but not once they are bonded within the pipes, for which there would be no remedy other than a re-pipe. The water pressure within pipes is commonly confused with water volume, but whereas high water volume is good high water pressure is not. In fact, whenever the street pressure exceeds eighty pounds per square inch a regulator is recommended, which typically comes factory preset between forty-five and sixty-five pounds per square inch. However, regardless of the pressure, leaks will occur in any system, and particularly in one with older galvanized pipes, or one in which the regulator fails and high pressure begins to stress the washers and diaphragms within the various components.

Waste and drainpipes pipes are equally varied, and range from modern ABS ones [acrylonitrile butadiene styrene] to older ones made of cast-iron, galvanized steel, clay, and even a cardboard-like material that is coated with tar. The condition of these pipes is usually directly related to their age. Older ones are subject to damage through decay and root movement, whereas the more modern ABS ones are virtually impervious to damage, although some rare batches have been alleged to be defective. However, inasmuch as significant portions of drainpipes are concealed, we can only infer their condition by observing the draw at drains. Nonetheless, blockages will occur in the life of any system, but blockages in drainpipes, and particularly in main drainpipes, can be expensive to repair, and for this reason we recommend having them video-scanned. This could also confirm that the house is connected to the public sewer system, which is important because all private systems must be evaluated by specialists.

You should be aware that gas leaks are not uncommon, particularly underground ones, and that they can be difficult to detect without the use of sophisticated instruments, which is why natural gas is odorized in the manufacturing process. Therefore, we recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak.

We have evaluated the plumbing in compliance with industry standards. Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified plumbing contractor before the end of the inspection period.

Building Materials, Component Type, Age & Location

Water Main Size & Location: Water Source: Plumbing Water Supply (into home):

1" -Front Public Copper

Interior Water Distribution: Washer Drain Size: Drain Waste & Vent Pipe Type (visible):

Copper 2" Diameter ABS

Water Heater(s) Energy Source: Water Heater(s) Capacity: Drain Pan Present:

Gas 100 Gallon No (One is Recommended)

Water Heater(s) Location: Water Heater(s) Manufacturer: Gas Main Location:

Exterior Closet(s) Bradford-White Side Yard

Water Filters:

(We do not inspect filtration systems)

Whole house conditioner

Inspection Findings

8.0 Plumbing Inspection

FUNCTIONAL - The plumbing and its components were inspected in compliance with industry standards and appear functional with the exception of any listed deficiencies.

8.1 Potable Water Supply Pipes

FUNCTIONAL - The visible potable water pipes appear functional.

8.2 Drain, Waste & Vent Pipes

(1) FUNCTIONAL - The drain, waste and vent pipes were inspected and appeared functional at the time of the inspection. However, only a video-scan of the main waste drainpipe could confirm their actual condition.

Serviced to vent sewer gasses to the exterior. Evaluation and repair by a licensed Plumber is recommended.



REPLACE (3) There are two or more plumbing vents which insufficient height which should rise six inches above the roof and should be serviced. Evaluation and repair by a licensed Plumber is recommended. (seller's invoice states the flashings were replaced)





8.3 Water Pressure Regulator

REPLACE The pressure inside the residence exceeds 80 PSI, which is too strong and will stress components of the system, and a new regulator should be installed. Most regulators come factory pre-set at 60 PSI. Evaluation and repair by a licensed Plumber is recommended. (105 PSI)



8.4 Gas Main & Supply Pipes Inspection

FUNCTIONAL - The gas main and the visible portions of the gas supply pipes appear functional.

8.5 Gas Main & Supply Pipes Deficiencies

There is no wrench at the gas shut-off valve to facilitate an emergency shut-off, and inasmuch as such tools are relatively inexpensive we recommend that you buy one and leave it in-place on the valve.

8.6 Water Heater(s) Inspection

(1) FUNCTIONAL -The water heater and its components appear functional with the exception of any listed deficiencies.

(2) FUNCTIONAL – The water heater includes a mandated temperature pressure relief valve that appears functional.

8.7 Water Heater(s) Deficiencies

(1) GENERAL INFORMATION – There are dark stains on the wall of the water heater closet from a past leak. (dry when inspected)



REPAIR / REPLACE (2) There is mineral encrustation on the fittings as a consequence of leaks. Evaluation and repair by a licensed Plumber is recommended. (dry when inspected)





(3) GENERAL INFORMATION – There is a stain at the vent termination point at the ceiling, the cause of was determined and serviced by a Roofer.



8.8 Seismic Straps

FUNCTIONAL - The water heater is seismically strapped in accordance with local standards.

8.9 Hose Bibs

REPLACE Three or more hose bibs do not include back-flow devices designed to prevent gray water from backing into the potable water supply. Evaluation and repair by a licensed Plumber is recommended.



8.10 Irrigation or Sprinklers EXPLORE

FURTHER (1) If installed, we do not operate landscape sprinklers, drip systems or irrigation systems which are beyond the scope of the inspection and should be demonstrated to be functional.

REPLACE (2) The sprinklers are over-spraying the windows of the master bedroom and garage and should be serviced to avoid moisture damage. Evaluation and repair by a licensed Landscape Contractor is recommended.





8.11 Fire Suppression Systems

(1) GENERAL INFORMATION – The residence is equipped with fire sprinklers, which we are not qualified to evaluate and specifically disclaim in our contract. However, it is recommended that they be inspected by a Fire Sprinkler Contractor every five years.

SAFETY (2) The guest quarters includes one or more fire sprinklers that are alleged to be defective and should be serviced. Evaluation and repair as necessary by a licensed Fire Sprinkler Contractor is recommended. (seller's invoice shows the defective fire sprinklers were replaced)

https://www.cpsc.gov/Recalls/1999/CPSC-Central-Sprinkler-Recall-Omega-Fire-Sprinklers-Settle-Lawsuit



Recalled

9. Living Space

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments, or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. In addition, there are a host of lesser contaminants, such as that from moisture penetrating carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts, and other porous surfaces, and which can be difficult to eradicate. However, inasmuch as the sense of smell adjusts rapidly, and the sensitivity to such odors is certainly not uniform, we recommend that you make this determination for yourself, and particularly if you or any member of your family suffers from allergies or asthma, and then schedule whatever remedial services may be deemed necessary before the close of escrow.

We have evaluated the living space in compliance with industry standards. Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified contractor specialist before the end of the inspection period.

Building Materials, Component Type, Age & Location

Interior Doors:	Countertops:	Cabinetry:
Solid Core	Marble	Wood
Wood		
Floor Covering:	Floor Covering:	Ceiling & Wall Materials:
Hardwood	Carpet	Drywall
Stone Tile		Wooden T & G Boards & Beams
Office:	Library:	Wine Room:
Right Side of Entry	Left Side of Entry	Left Hallway
Inspected	Inspected	
	Inspection Finding	S

9.0 Living Space Inspection

EXPLORE

(1) FUNCTIONAL - The living space and its components were inspected in compliance with industry standards and appear functional with the exception of any listed deficiencies.

FURTHER (2) The i-port is beyond the scope of the inspection and should be demonstrated by the seller before the end of the inspection period.



(3) GENERAL INFORMATION – There is fresh paint throughout the house which limited our inspection of it.



FURTHER (4) The security system is beyond the scope of a home inspection. -Security System Specialist

9.1 Living Space Deficiencies

REPAIR / REPLACE

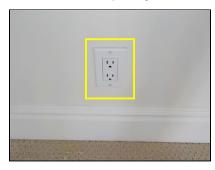
REPLACE The bar sink drain trap are is leaking and should be serviced. Evaluation and repair by a licensed Plumber is recommended.



Leaking

9.2 Outlets & Lights

REPAIR / REPLACE (1) There is no functional half-hot outlet in the guest quarters which should be serviced. Evaluation and repair by a licensed Electrician is recommended.



REPLACE (2) There is a loose blank coverplate on a junction box in the master bedroom closet which should be sealed to contain a potential spark within the box. -Electrician



REPAIR / REPLACE

REPLACE (3) A coverplate is off in the office and should be serviced. -Contractor

EXPLORE

EXPLORE



9.3 Ceilings

EXPLORE FURTHER (1) There is a tape joint crack in ceilings of the master bedroom and garage which could be serviced for cosmetic reasons. Evaluation and repair by a licensed Drywall Contractor is recommended.

FURTHER (2) GENERAL INFORMATION – There is a moisture stain on the ceiling of the master bedroom which was from a past leak and has been serviced per seller's documentation. Evaluation and repair by a licensed Painting Contractor is recommended.

9.4 Walls

The baseboard in the master toilet room is moisture damaged the history of which should be explained or explored further. Evaluation and repair by a licensed Contractor is recommended.





9.5 Built-In Cabinetry REPAIR /

REPLACE A drawer in the built-in cabinetry in the office is off the track and should be serviced. Evaluation and repair by a licensed Contractor is recommended.



9.6 Wine Room

EXPLORE

The refrigeration was off in the wine room which should be demonstrated to be functional before the end of the inspection period.



10. Kitchen

We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Also, many older gas and electric ranges are not secured and can be easily tipped, particularly when any weight is applied to an open range door, and all such appliances should be confirmed to be secure. Regardless, we do not inspect the following items: free-standing appliances, refrigerators, trash-compactors, built-in toasters, coffee-makers, canopeners, blenders, instant hot-water dispensers, water-purifiers, barbecues, grills or rotisseries, timers, clocks, thermostats, the self-cleaning capability of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and not wired to national electrical standards.

We have evaluated the kitchen in compliance with industry standards. Any recommended repairs noted in this report should be evaluated and repaired by a licensed appliance technician or qualified contractor specialist before the end of the inspection period.

Building Materials, Component Type, Age & Location

Appliance(s) Manufacturer:

Sub Zero

Thermador

Inspection Findings

10.0 Kitchen Inspection

FUNCTIONAL - The kitchen and its components were inspected in compliance with industry standards and appear functional with the exception of any listed deficiencies.

10.1 Garbage Disposal

ITEM OF CONCERN – The island sink is slowing draining due to a tight splash guard. -Contractor



10.2 Built-In Microwave

EXPLORE

The grease filters on the guest quarters microwave exhaust fan are dirty and should be serviced or replaced by an Appliance technician.



10.3 Refrigerator

When present, refrigerators are beyond the scope of the inspection and should be demonstrated to be functional if they convey. (bar sink, guest quarters) (keeping a home warranty current is recommended)

10.4 Outlets Inspection

EXPLORE

FUNCTIONAL - The countertop outlets appear functional and are ground-fault protected with the exception of any listed findings. (the reset button is in the pantry sub panel)

10.5 Outlet(s) Deficiencies

The countertop outlets right of the sink are not ground-fault protected which pose safety hazards and should be serviced. Evaluation and repair by a licensed Electrician is recommended. (GFI breakers and other circuits in the pantry sub panel are not properly labeled)





11. Hallway

Our evaluation of hallways is identical to that of living space, except that we pay particular attention to safety issues, such as those involving handrails, guardrails, and smoke detectors.

(Smoke Detector Safety Information) An Ionization alarm will respond slower to smoldering fires that a photoelectric alarm. Ionization alarms will give sufficient warning less than 40% of the time, meaning 60% of the time occupants area at risk of fatality. A slow response time isn't the only problem with an Ionization alarm. Nuisance tripping can occur when cooking or showering, etc. Often, occupants become frustrated and intentionally disable them leaving the residence completely unprotected. The international Association of Fire Fighters recently took a stand and now recommends that only Photoelectric smoke alarms be installed. (verifying the type of smoke detector installed is beyond the scope of a home inspection) http://www.iaff.org?Comm?Press?SmokeAlarms03_11.pdf

We have evaluated the hallways in compliance with industry standards. Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified contractor specialist before the end of the inspection period.

Inspection Findings

11.0 Hallway Inspection

FUNCTIONAL - The hallway (or hallways) and their components were inspected in compliance with industry standards and appear functional with the exception of any listed deficiencies.

11.1 Smoke Detector(s)

CONCERN (1) The smoke detectors in the guest quarters, hallway(s) and bedrooms are beyond their design life of ten years and should be replaced with photoelectric ones for safety. Evaluation and repair by a licensed Contractor is recommended (mandated)



EXPLORE FURTHER (2) There is an alarm dependant smoke detector that is beyond the scope of a home inspection and should be demonstrated to be functional by the Security Company Contractor.

11.2 Carbon Monoxide Alarm(s)

There are no carbon monoxide alarms installed outside the bedrooms and within ten feet and in the guest quarters which are required by California law and should be installed per manufacturer's specifications before the end of the inspection period. -Contractor

12. Bedrooms

In accordance with the standards of practice, our inspection of bedrooms includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. We evaluate windows to ensure that they meet light and ventilation requirements and facilitate an emergency exit or egress, but we do not evaluate window treatments, nor move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on common cosmetic deficiencies.

We have evaluated the bedrooms in compliance with industry standards. Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified contractor specialist before the end of the inspection period.

Building Materials, Component Type, Age & Location

Bedroom Locations:

Master Bedroom -By Laundry Room

Bedroom 2 -Left Side of Hallway

Bedroom 3 -By Laundry Room

Bedroom 4 -Left Side of Hallway

Bedroom 5 - Guest Quarters

Inspection Findings

12.0 Bedroom(s) Inspection

FUNCTIONAL - The bedroom (or bedrooms) and their components were inspected in compliance with industry standards and appear functional with the exception of any listed deficiencies.

13. Bathrooms

In accordance with industry standards, we do not comment on common cosmetic deficiencies, and do not evaluate window treatments, steam showers, and saunas. More importantly, we do not leak-test shower pans, which is usually the responsibility of a termite inspector. However, because of the possibility of water damage, most termite inspectors will not leak-test second floor shower pans without the written consent of the owners or occupants.

We have evaluated the bathrooms in compliance with industry standards. Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified plumbing contractor or contractor specialist before the end of the inspection period.

Building Materials, Component Type, Age & Location

Bathroom Locations:	Bathroom Size:
Master Bathroom -By Bedroom	Bathroom 2 -3/4 Bath
Bathroom 2 -By Bedroom 2	Bathroom 3 -3/4 Bath
Bathroom 3 -By Bedroom 3	Bathroom 4 -Full Bath
Bathroom 4 -By Bedroom 4	Bathroom 5 -3/4 Bath
Bathroom 5 -Guest Quarters	Pool Bathroom -1/2 Ba
Powder Room -Off Left Hallway	

Inspection Findings

-1/2 Bathroom

13.0 Bathroom(s) Inspection

FUNCTIONAL -The bathroom (or bathrooms) and their components were inspected in compliance with industry standards and appear functional with the exception of any listed deficiencies.

13.1 Sink, Faucet, Valves Trap & Drain

REPLACE (1) The powder room sink is slow draining or partially clogged and should be serviced, to ensure that the blockage has not progressed beyond the trap and involved the main waste line. Evaluation and repair by a licensed Plumber is recommended. (seller's invoice shows it was serviced)



REPAIR / REPLACE (2) The right mechanical sink stopper in bathroom 5 will need to be serviced to function properly. Evaluation and repair by a licensed Plumber is recommended.



Service Stopper

(3) ITEM OF CONCERN – The right sink in the master bathroom has a slightly loose handle which should be serviced. -Plumber



13.2 Sink Countertop

EXPLORE

The marble countertop in the guest quarters bathroom is cracked and patched. -Marble

Contractor

13.3 Shower(s)

The mixer valve in bathroom 2 produces hot water only which poses a potential scald hazard and should be serviced. Evaluation and repair by a licensed Plumber is recommended.



Scald Hazard

13.4 Tub-Shower(s)

REPAIR / REPLACE The diverter valve in bathroom 4 needs service to the stem stop. Evaluation and repair by a licensed Plumber is recommended.



13.5 Outlets & Lights

FUNCTIONAL - The bathroom outlets appear functional and are ground-fault protected.

14. Laundry Room (or Area)

In accordance with industry standards, we do not test clothes dryers, nor washing machines and their water connections and drainpipes. However, there are two things that you should be aware of. The water supply to washing machines is usually left on, and their hoses can leak or burst under pressure and continue to flow. Therefore, we recommend replacing the rubber hose type with newer braided stainless steel ones that are much more dependable. You should also be aware that the newer washing machines discharge a greater volume of water than many of the older drainpipes can handle, which causes the water to back up and overflow, and the only remedy would be to replace the standpipe and trap with one that is a size larger.

We have evaluated the laundry room (area) in compliance with industry standards. Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified contractor specialist before the end of the inspection period.

Building Materials, Component Type, Age & Location

Dryer Power Source:

Location(s):

Gas & 220 volt Electric

In Residence

Gas is Capped

Inspection Findings

14.0 Laundry Room (or Area) Inspection

FUNCTIONAL - The laundry room (or area) and its components were inspected in compliance with industry standards and appear functional with the exception of any listed deficiencies.

14.1 Gas Valve & Connector

EXPLORE FURTHER A 3/4" valve is needed on the gas supply to operate a gas dryer. Evaluation and repair by a licensed Plumber is recommended.

14.2 220 Volt Receptacle

GENERAL INFORMATION – The 220 volt receptacle is a three prong type that could be upgraded to a safer 4 prong type. -Electrician

14.3 Outlets & Lights

FUNCTIONAL - The countertop outlet(s) appear functional and are ground-fault protected.

15. Garage

It is not uncommon for moisture to penetrate garages, because their slabs are on-grade. Evidence of this is typically apparent in the form of efflorescence, or salt crystal formations, that result when moisture penetrates the concrete slab or sidewalls. This is a common with garages that are below grade, and some sidewalls are even cored to relieve the pressure that can build up behind them, and which actually promotes drainage through the garage. Also, if there is living space above the garage, that space will be seismically vulnerable. Ideally, the columns and beams around the garage door will be made of structural steel, but in many residences these components are made of wood but could include some structural accessories, such as post-straps and hold-downs, and plywood shear paneling. However, we are not an authority in such matters, and you may wish to discuss this further with a structural engineer. In addition, and inasmuch as garage door openings are not standard, you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles.

We have evaluated the garage in compliance with industry standards. Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified contractor specialist before the end of the inspection period.

Building Materials, Component Type, Age & Location

Garage Parking Spaces:

Garage Door Type:

Auto-opener Manufacturer:

4 Car Garage

Sectional Wooden Door(s)

Liftmaster 1/2 HP

Garage Door Opener Type:

Chain Drive

Inspection Findings

15.0 Garage(s) Inspection

FUNCTIONAL - The garage and its components were inspected in compliance with industry standards and appear functional with the exception of any listed deficiencies.

15.1 Garage Door Opener(s)

(1) FUNCTIONAL – The right garage door opener(s) auto-reverse pressure sensor(s) responded to test and appear(s) functional.

SAFETY CONCERN (2) The left garage door opener auto reverse pressure sensor did not respond to test and should be serviced for safety. Evaluation and repair by a Garage Door Contractor is recommended.



15.2 Outlets

FUNCTIONAL - The garage outlets appear functional and are ground-fault protected.

16. Pool & Spa

Pools and spas do leak, but without specialized equipment this may be impossible to confirm. However, it could become apparent from secondary evidence during our inspection, which is purely visual. Regardless, the owner or the occupant of a property would be aware that the water level drops regularly and must be topped off, and this should be disclosed. Unusually high water bills could reveal this, but only a pressure test of the pipes, a dye test of cracks, or a geo-phone test of specific areas would confirm it, and any such specialized test is beyond the scope of our service. Therefore, you should ask the sellers to guarantee that the pool and spa do not leak, request to review the water bills for a twelve-month period, or obtain comprehensive insurance to cover such an eventuality.

We have evaluated the pool and/or spa in compliance with industry standards. Any recommended repairs noted in this report should be evaluated and repaired by a licensed, qualified plumbing contractor before the end of the inspection period.

Inspection Findings

16.0 Pool & Spa Inspection EXPLORE

We did not evaluate the pool-spa as part of our inspection service. Evaluation and repair by a Certified Pool Operator is recommended.

16.1 Enclosure Safety Observations

REPAIR /

REPLACE (1) The gates that give pool access do not comply with safety standards and should be serviced. Evaluation and repair by a licensed Contractor is recommended.





SAFETY UPGRADE (2) Installing audible alarms and self closing hinges on doors that give access to the pool and spa are recommended for safety if children occupy or visit the property. Evaluation and repair by a licensed Contractor is recommended

UPGRADE (3) There is no secondary barrier or pool fence at the perimeter of the pool for child safety which should be installed if children occupy or visit the property. Evaluation and repair by a licensed Pool Fence Contractor is recommended.

Summary Report



Royal Inspection Services 760-390-2880

Customer: HAPPY CLIENT

Address: 5896 HAPPYVIEW CT, RANCHO SANTA FE, CA 92067

This summary report will provide you with a preview of the components or conditions that need service or a second opinion, but it is not definitive. Therefore, it is essential that you read the full report. Regardless, in recommending service we have fulfilled our contractual obligation as generalists, and therefore disclaim any further responsibility. However, service is essential, because a specialist could identify further defects or recommend some upgrades that could affect your evaluation of the property.

1. Exterior



1.3 Grading & Drainage

(2) The soil is over the weep screed at the right side of the family room and should have a 4" clearance to the weep screed. This can trap moisture and should be serviced. Evaluation and repair by a licensed Grading & Drainage Contractor is recommended.





1.5 Windows Deficiencies

(1) The seller disclosed a window leaked in the library and stains on the carpet and deteriorated wood were noted. Evaluation and repair by a licensed a Carpet Cleaning Contractor and a Pest Control Inspector is recommended. (stain in office as well)





(2) A casement window in the master bathroom toilet room has a missing crank which should be replaced. Evaluation and repair by a licensed Window Contractor is recommended.



(3) A casement window in bathroom 5 has a missing crank mechanism cover which should be replaced. Evaluation and repair by a licensed Window Contractor is recommended.



1.6 Fences & Gates

(2) Sections of the wrought iron fence are deteriorated or rust damaged and should be serviced or replaced. Evaluation and repair by a licensed Fence Contractor is recommended. (left side, back)





1.1 Exterior Component Deficiencies

The ignition did not light the gas and the barbecue should be demonstrated to be functional or repaired by a Contractor specialist. (no gas when the valve was turned on under the barbecue)



1.3 Grading & Drainage

(3) There is grass plated against the back foundation stem wall which should be maintained two feet away to avoid damage or moisture intrusion. Evaluation and repair by a licensed Landscape Contractor is recommended.



(4) The grass area in the backyard is graded toward the pool which does not appear significant but a Landscape Contractor could evaluate this further.

1.4 Site & Landscape Observations

(1) The property has been renovated or remodeled. Therefore, you should request documentation that should include permits and any warranties or guarantees that might be applicable, because we do not approve or tacitly endorse any work done without permits, and latent defects could exist.

1.8 Lights

Two flood lights at the back did not respond which should be serviced and demonstrated. -Bulbs? -Electrician





3. Roofing



3.1 Roof Deficiencies

(1) There is debris from trees on the roof which can cause water to back up under the tile and should be removed. (right side, back)





3.2 Gutters & Downspouts

(1) The gutters need to be cleaned and serviced to function properly. Evaluation and repair by a licensed Guttering Contractor is recommended. (clogged, bent at right side, missing end cap upper roof, missing elbow at back of family room, bent downspout at right side, etc)





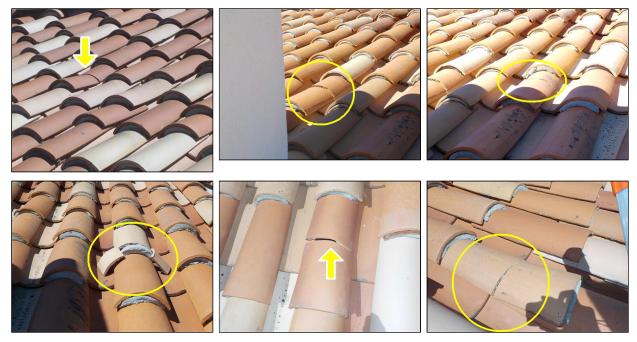


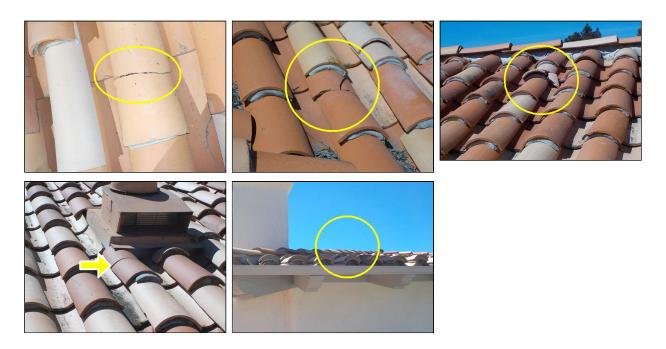
Debris May Enter



3.1 Roof Deficiencies

(2) There are a number of broken roof tiles which should be serviced or the roof may leak. Evaluation and repair of the entire roof by a licensed Roofing Contractor is recommended. (above the family room, kitchen and on upper roof near living room chimney, etc.) (seller has invoice showing roof repairs)





4. Chimney



4.1 Fireplace(s) Deficiencies

The chimneys do not have weather cap-spark arrestors which are recommended. Evaluation and repair by a licensed Chimney Contractor is recommended. (one spark arrestor is off)







4.2 Damper(s)

(1) The damper handles are missing in the all of the chimneys and should be replaced. Evaluation and repair by a licensed Chimney Contractor is recommended.



(2) The damper-stops are missing at all the chimneys and should be replaced to lock the dampers open for safety. Evaluation and repair by a licensed Chimney Contractor is recommended.

5. Attic

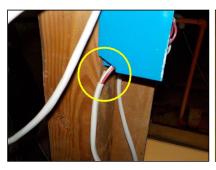


5.2 Electrical

(1) There is an open junction box which should be sealed to contain a potential spark within the box. Evaluation and repair by a licensed Electrician is recommended. (seller's invoice shows it was repaired)



(2) The electrical wiring in the attic should be evaluated for the following reasons: Exposed single wire, Romex not mounted within 12 inches of a junction box, junction box not mounted to framing, etc. Evaluation and repair by a licensed Electrician is recommended.









5.1 Ventilation

The attic does not appears to be adequately ventilated and should be serviced. Evaluation and repair by a licensed Contractor is recommended.

5.3 Attic Insulation

(1) There are several bare areas where insulation is displaced or missing and it should be re installed or replaced to avoid temperature transfer from the attic to the living space. Evaluation and repair by a licensed Contractor is recommended.



Not In Stud Bays

(2) There are walls in the pantry area that are open to the attic which will allow temperature transfer from the attic to the living space. Also, this is an area which should be draft stopped (or blocked off) with drywall and insulation to avoid quick spread of a fire. Evaluation and repair by a licensed Contractor is recommended.



6. Electrical



6.1 Panel Covers

The main panel enclosure has a missing bushing and should be serviced. -Electrician



7. Heat & AC



7.2 HVAC Deficiencies (heating, ventilation and air conditioning)

The guest quarters does not have its own mechanical heat and cooling and is heated by the thermostat in the house. Evaluation and repair by a licensed HVAC Contractor is recommended.

7.3 Evaporator Coil(s)

Energy is being lost at the suction line attachment points to the evaporator coils which should be sealed with tar tape for energy efficiency. -HVAC Contractor





8. Plumbing



8.2 Drain, Waste & Vent Pipes

(2) A plumbing vent has negative vent rise, must rise a quarter inch per foot and should be serviced to vent sewer gasses to the exterior. Evaluation and repair by a licensed Plumber is recommended.



8.11 Fire Suppression Systems

(2) The guest quarters includes one or more fire sprinklers that are alleged to be defective and should be serviced. Evaluation and repair as necessary by a licensed Fire Sprinkler Contractor is recommended. (seller's invoice shows the defective fire sprinklers were replaced)

https://www.cpsc.gov/Recalls/1999/CPSC-Central-Sprinkler-Recall-Omega-Fire-Sprinklers-Settle-Lawsuit



Recalled



8.2 Drain, Waste & Vent Pipes

(3) There are two or more plumbing vents which insufficient height which should rise six inches above the roof and should be serviced. Evaluation and repair by a licensed Plumber is recommended. (seller's invoice states the flashings were replaced)





8.3 Water Pressure Regulator

The pressure inside the residence exceeds 80 PSI, which is too strong and will stress components of the system, and a new regulator should be installed. Most regulators come factory pre-set at 60 PSI. Evaluation and repair by a licensed Plumber is recommended. (105 PSI)



8.7 Water Heater(s) Deficiencies

(2) There is mineral encrustation on the fittings as a consequence of leaks. Evaluation and repair by a licensed Plumber is recommended. (dry when inspected)





8.9 Hose Bibs

Three or more hose bibs do not include back-flow devices designed to prevent gray water from backing into the potable water supply. Evaluation and repair by a licensed Plumber is recommended.



8.10 Irrigation or Sprinklers

(2) The sprinklers are over-spraying the windows of the master bedroom and garage and should be serviced to avoid moisture damage. Evaluation and repair by a licensed Landscape Contractor is recommended.







8.10 Irrigation or Sprinklers

(1) If installed, we do not operate landscape sprinklers, drip systems or irrigation systems which are beyond the scope of the inspection and should be demonstrated to be functional.



8.5 Gas Main & Supply Pipes Deficiencies

There is no wrench at the gas shut-off valve to facilitate an emergency shut-off, and inasmuch as such tools are relatively inexpensive we recommend that you buy one and leave it in-place on the valve.

9. Living Space



9.1 Living Space Deficiencies

The bar sink drain trap are is leaking and should be serviced. Evaluation and repair by a licensed Plumber is recommended.



Leaking

9.2 Outlets & Lights

(1) There is no functional half-hot outlet in the guest quarters which should be serviced. Evaluation and repair by a licensed Electrician is recommended.



(2) There is a loose blank coverplate on a junction box in the master bedroom closet which should be sealed to contain a potential spark within the box. -Electrician



(3) A coverplate is off in the office and should be serviced. -Contractor



9.5 Built-In Cabinetry

A drawer in the built-in cabinetry in the office is off the track and should be serviced. Evaluation and repair by a licensed Contractor is recommended.





9.0 Living Space Inspection

(2) The i-port is beyond the scope of the inspection and should be demonstrated by the seller before the end of the inspection period.



(4) The security system is beyond the scope of a home inspection. -Security System Specialist

9.3 Ceilings

- (1) There is a tape joint crack in ceilings of the master bedroom and garage which could be serviced for cosmetic reasons. Evaluation and repair by a licensed Drywall Contractor is recommended.
- (2) GENERAL INFORMATION There is a moisture stain on the ceiling of the master bedroom which was from a past leak and has been serviced per seller's documentation. Evaluation and repair by a licensed Painting Contractor is recommended.

9.4 Walls

The baseboard in the master toilet room is moisture damaged the history of which should be explained or explored further. Evaluation and repair by a licensed Contractor is recommended.





9.6 Wine Room

The refrigeration was off in the wine room which should be demonstrated to be functional before the end of the inspection period.



10. Kitchen



10.5 Outlet(s) Deficiencies

The countertop outlets right of the sink are not ground-fault protected which pose safety hazards and should be serviced. Evaluation and repair by a licensed Electrician is recommended. (GFI breakers and other circuits in the pantry sub panel are not properly labeled)







10.2 Built-In Microwave

The grease filters on the guest quarters microwave exhaust fan are dirty and should be serviced or replaced by an Appliance technician.



10.3 Refrigerator

When present, refrigerators are beyond the scope of the inspection and should be demonstrated to be functional if they convey. (bar sink, guest quarters) (keeping a home warranty current is recommended)

11. Hallway



11.1 Smoke Detector(s)

(1) The smoke detectors in the guest quarters, hallway(s) and bedrooms are beyond their design life of ten years and should be replaced with photoelectric ones for safety. Evaluation and repair by a licensed Contractor is recommended (mandated)



11.2 Carbon Monoxide Alarm(s)

There are no carbon monoxide alarms installed outside the bedrooms and within ten feet and in the guest quarters which are required by California law and should be installed per manufacturer's specifications before the end of the inspection period. -Contractor



11.1 Smoke Detector(s)

(2) There is an alarm dependant smoke detector that is beyond the scope of a home inspection and should be demonstrated to be functional by the Security Company Contractor.

13. Bathrooms



13.3 Shower(s)

The mixer valve in bathroom 2 produces hot water only which poses a potential scald hazard and should be serviced. Evaluation and repair by a licensed Plumber is recommended.



Scald Hazard



13.1 Sink, Faucet, Valves Trap & Drain

(1) The powder room sink is slow draining or partially clogged and should be serviced, to ensure that the blockage has not progressed beyond the trap and involved the main waste line. Evaluation and repair by a licensed Plumber is recommended. (seller's invoice shows it was serviced)



(2) The right mechanical sink stopper in bathroom 5 will need to be serviced to function properly. Evaluation and repair by a licensed Plumber is recommended.



Service Stopper

13.4 Tub-Shower(s)

The diverter valve in bathroom 4 needs service to the stem stop. Evaluation and repair by a licensed Plumber is recommended.





13.2 Sink Countertop

The marble countertop in the guest quarters bathroom is cracked and patched. -Marble Contractor

14. Laundry Room (or Area)



14.1 Gas Valve & Connector

A 3/4" valve is needed on the gas supply to operate a gas dryer. Evaluation and repair by a licensed Plumber is recommended.

15. Garage



15.1 Garage Door Opener(s)

(2) The left garage door opener auto reverse pressure sensor did not respond to test and should be serviced for safety. Evaluation and repair by a Garage Door Contractor is recommended.



16. Pool & Spa



16.1 Enclosure Safety Observations

(1) The gates that give pool access do not comply with safety standards and should be serviced. Evaluation and repair by a licensed Contractor is recommended.







16.0 Pool & Spa Inspection

We did not evaluate the pool-spa as part of our inspection service. Evaluation and repair by a Certified Pool Operator is recommended.



16.1 Enclosure Safety Observations

- (2) Installing audible alarms and self closing hinges on doors that give access to the pool and spa are recommended for safety if children occupy or visit the property. Evaluation and repair by a licensed Contractor is recommended
- (3) There is no secondary barrier or pool fence at the perimeter of the pool for child safety which should be installed if children occupy or visit the property. Evaluation and repair by a licensed Pool Fence Contractor is recommended.

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